



NOTICE OF PUBLIC HEARING
Minor Variance Application File No. A-24-60
(The *Planning Act*, 1990, as amended subsection 45(5))
This public meeting will be held Hybrid (In-person and virtual participation)
Live streamed at: <https://www.king.ca/cofameetings>

NOTICE IS HEREBY GIVEN THAT the following application will be heard before the Committee of Adjustment on:

WEDNESDAY, JANUARY 15, 2025 AT 6:00 P.M.

PUBLIC PARTICIPATION

We ask for written correspondence to be submitted by noon on the Friday prior to the scheduled hearing. Written submissions can be emailed to cofa@king.ca, please quote file number in subject line.

Anyone wishing to speak to the Committee of Adjustment virtually, must register by contacting the Secretary Treasurer at cofa@king.ca no later than noon on the Friday prior to the scheduled hearing. When your request to speak is received, a confirmation message and instructions for providing a deputation virtually at the meeting will be provided.

Anyone wishing to speak to the Committee of Adjustment in-person, should register by contacting the Secretary Treasurer at cofa@king.ca. You may also register at the hearing in Council Chambers by completing a deputation registration form and providing it to the Secretary Treasurer.

You can watch a live stream of the hearing at king.ca/cofameetings (this link will not allow you to speak during the meeting).

SUBJECT APPLICATION:

Address: 50 Ellis Avenue, Nobleton
Plan M13, Lot 23

Ward: 2

Applicant: Andrew Zacchigna

Zoning: By-law 2016-71, as amended “R1 – Residential Single Detached”

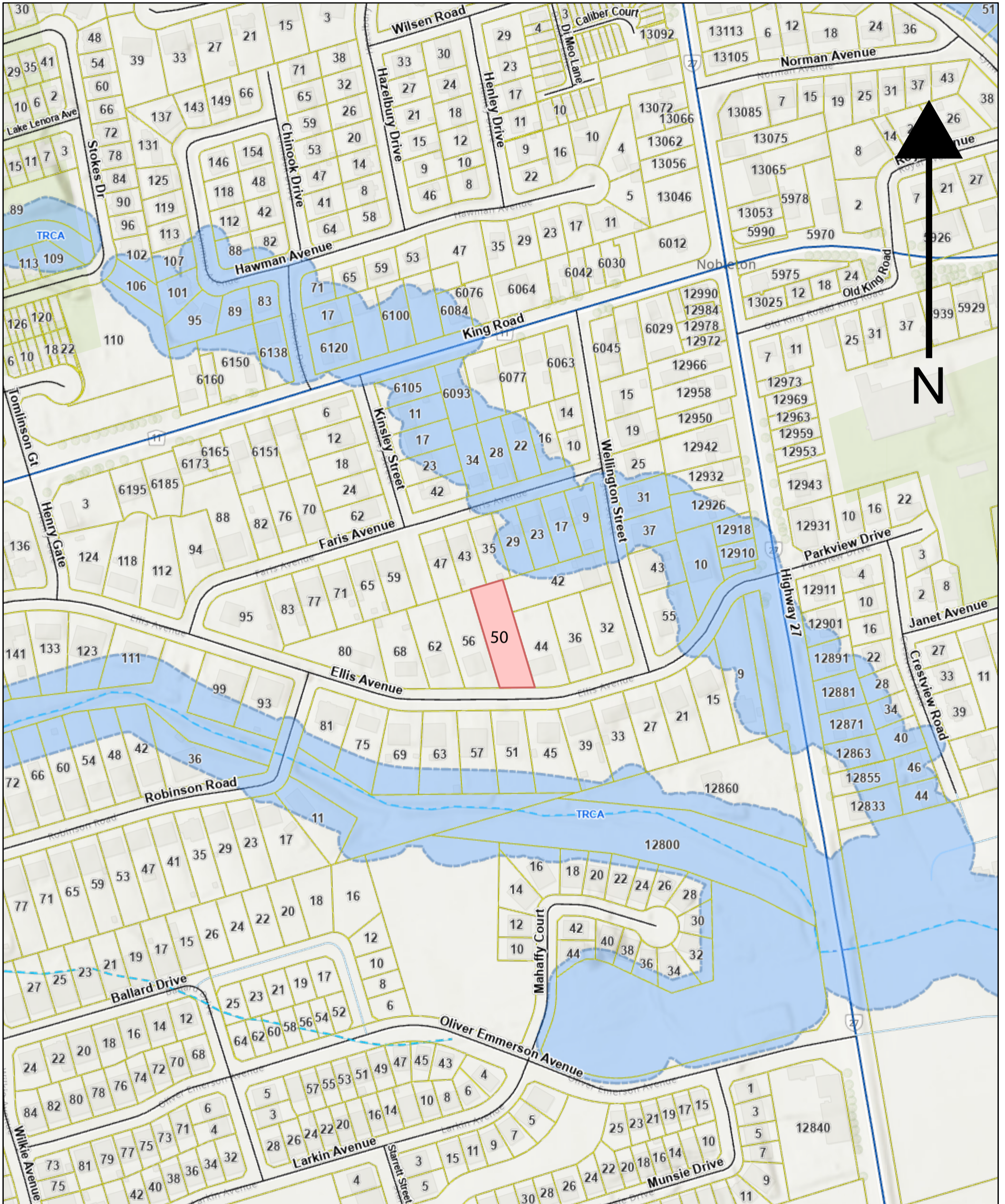
APPLICATION REQUEST:

The applicant is seeking relief from height, combined driveway width, and maximum accessory lot coverage provisions to facilitate the construction of a coach house (accessory structure).

#	Zoning By-law #2016-71, as amended	Variance request:
1	Section 3.2.3 a) prescribes that in any Residential zone, an accessory structure shall not exceed 4.5 metres in height.	Relief from Section 3.2.3 a) of Zoning By 2016-71 to permit a maximum height of 6.63 metres for the proposed accessory structure (front, rear, left, right elevations), whereas the By-law establishes a maximum height of 4.5 metres for accessory structures in a Residential zone.
2	Section 3.2.4 a) prescribes that in any Residential zone, the maximum lot coverage for accessory buildings and structures shall be ten percent (10%) of the lot area or 120.0 m² , whichever is less.	Relief from Section 3.2.4 a) of By-law 2016-71 to permit a maximum lot coverage for accessory buildings and structures of 160.26 m ² , whereas the By-law establishes a maximum lot coverage for accessory buildings and structures of 120.0 m ² .
3	Section 4.4.2 d) establishes that where a circular, secondary or dual driveway is provided in any Residential zone, the maximum combined width of all driveway entrance/egress shall be 9.0 m.	Relief from Section 4.4.2 d) of By-law 2016-71 to permit a combined width of all driveway entrances/egresses to be 10.66 metres.

PLEASE REFER TO THE ATTACHED SKETCHES FOR THE LOCATION OF THE LAND AND PROPOSED PLANS.

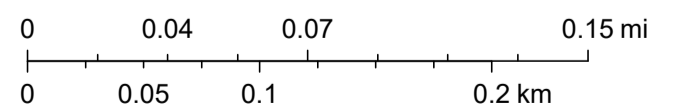
A-24-60 - Location Map



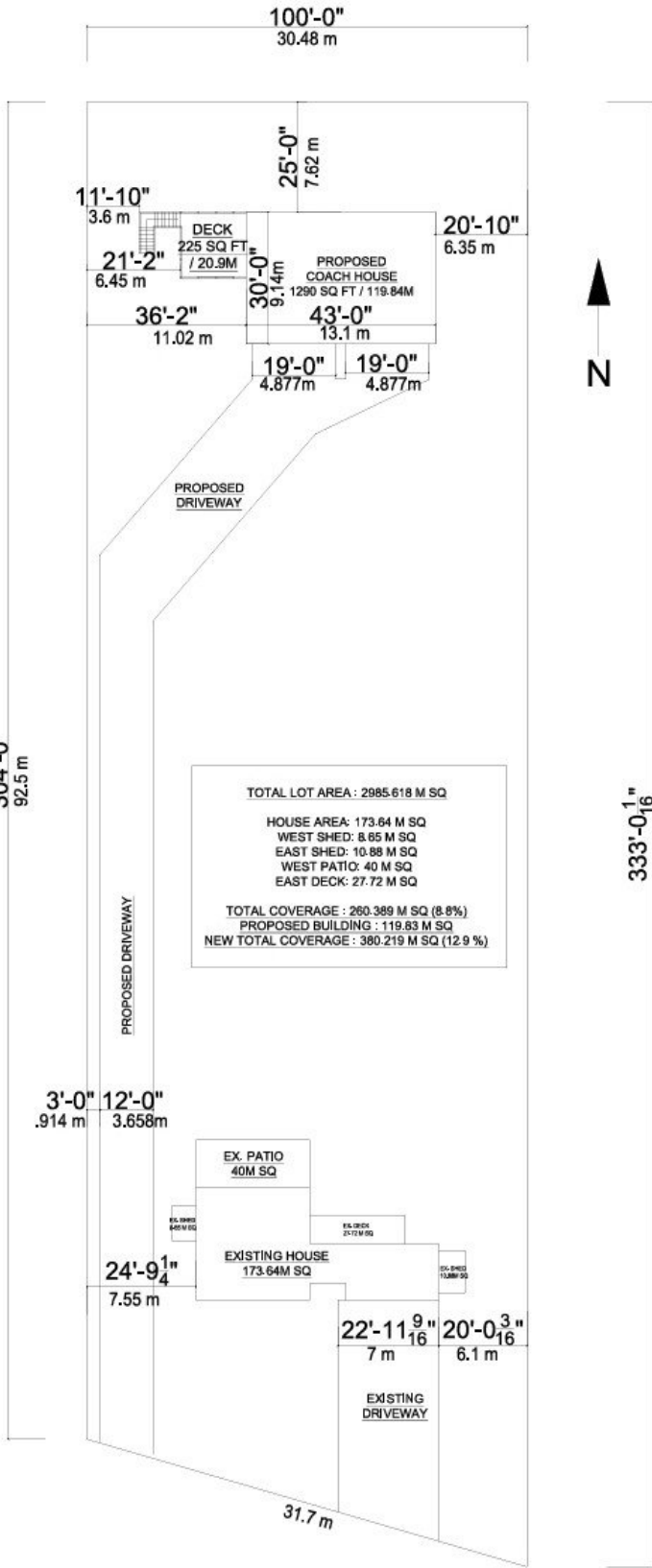
2024-12-13, 11:33:21 a.m.

- Override 1
- TRCA Regulation Limits
- Parcel Fabric

1:4,514



Esri Community Maps Contributors, Province of Ontario, York Region, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, NRCAN, Parks Canada, Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA,



TOTAL LOT AREA : 2985.618 M SQ

HOUSE AREA : 173.64 M SQ

WEST SHED : 8.85 M SQ

EAST SHED : 10.88 M SQ

WEST PATIO : 40 M SQ

EAST DECK : 27.72 M SQ

TOTAL COVERAGE : 260.389 M SQ (8.8%)

PROPOSED BUILDING : 119.83 M SQ

NEW TOTAL COVERAGE : 380.219 M SQ (12.9 %)

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TRUSS NOTE
 ROOF SUPPLIER / MANUFACTURER TO DESIGN TRUSSES ACCORDINGLY TO SUIT THIS PLAN AND TO PROVIDE A ROOF TRUSS FRAMING LAYOUT ACCOMPANIED WITH ALL ENGINEERED TRUSSES CERTIFICATE(S) COMPLETE WITH NAILING & BRACING REQUIREMENTS

LINTEL NOTE
 ALL LINTELS OVER EXTERIOR OPENINGS TO BE 2 PLY 2x10 NO.2 SPR. (OR BETTER) UNLESS NOTED OTHERWISE

THE CONSTRUCTION DETAIL(S) SHOWN ARE "SUGGESTIVE" TYPICAL STANDARD BUILDING PRACTICES AND MAY NOT BE EXACTLY AS SHOWN TO SUIT EXACT BUILDING SITE CIRCUMSTANCES, LOCAL BUILDING PRACTICES AND / OR LOCAL BUILDING CODE REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE OWNER / BUILDER / CONTRACTOR TO ENSURE THAT ANY AND ALL VARIATIONS / CHANGES TO SUIT SITE CONDITIONS AND / OR BUILDERS PREFERENCE, BE IN ACCORDANCE TO O.B.C. REQUIREMENTS & REGULATIONS AND APPROVED BY THE LOCAL BUILDING AUTHORITY PRIOR TO CONSTRUCTION.

DECK & RAILING CONSTRUCTION MUST CONFORM TO O.B.C. SECTION 9.8. STAIRS RAMPS, HANDRAILS AND GUARDS - AND- SUPPLEMENTARY GUIDELINES SG-7 CONSTRUCTION REQUIREMENTS FOR GUARDS.

NO.	REVISION/ISSUE	DATE

PROJECT TITLE
50 ELLIS AVE COACH HOUSE BUILDING

DRAWING TITLE
SITE PLAN

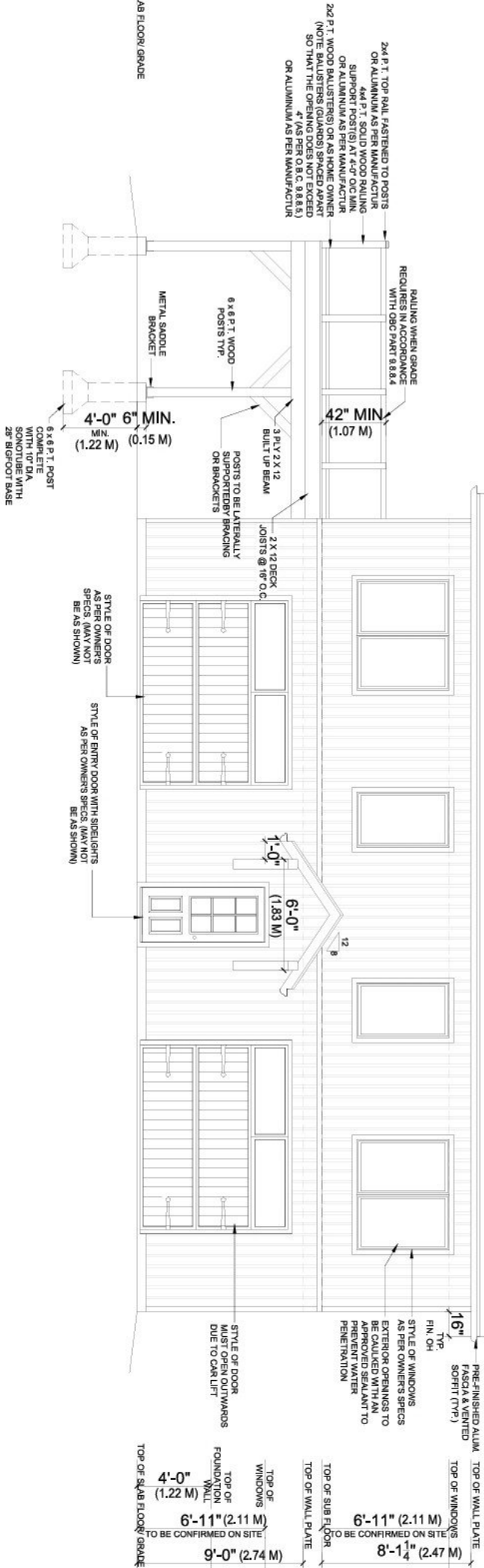
SCALE
 1/32" = 1'-0"

DATE
 REVISED
 DECEMBER 2024

A10

MID POINT BETWEEN SOFT AND PEAK

21'-4" APPROX. (6.50M)
21'-9" MAX HEIGHT (6.63 M)



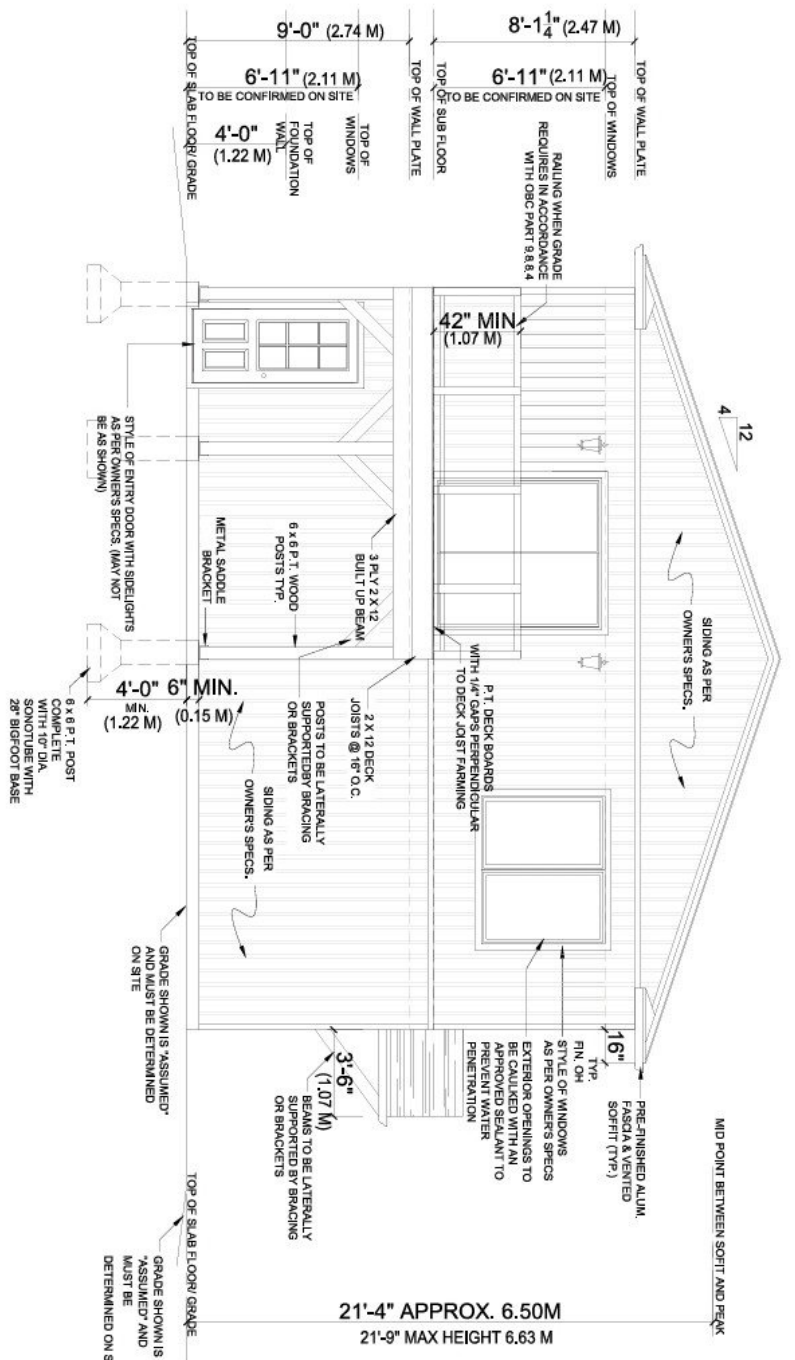
FRONT ELEVATION
SCALE: 3/16" = 1'-0"

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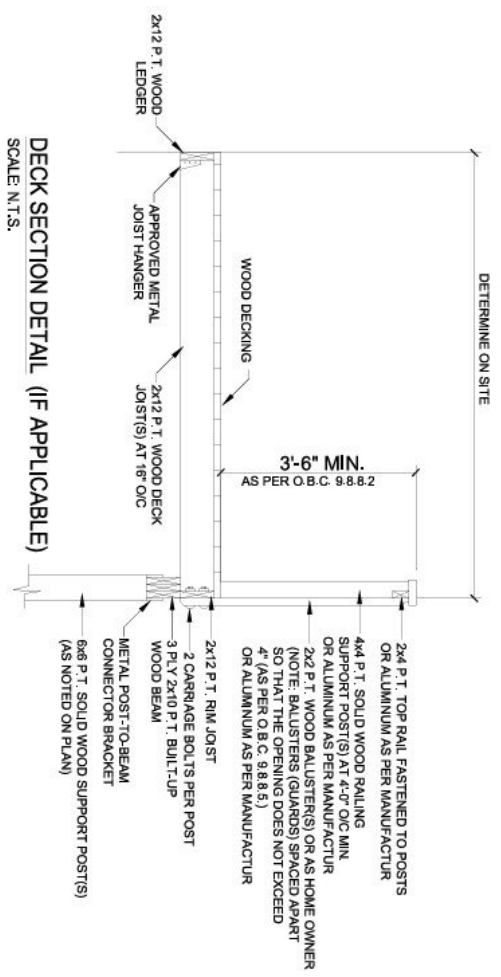
- A1 - FRONT ELEVATION
- A2 - LEFT ELEVATION & CONSTRUCTION DETAILS
- A3 - REAR ELEVATION & CONSTRUCTION DETAILS
- A4 - RIGHT ELEVATION
- A5 - FOUNDATION PLAN
- A6 - MAIN FLOOR PLAN
- A7 - 2ND FLOOR PLAN
- A8 - CROSS SECTION
- A9 - CROSS SECTION & CONSTRUCTION DETAILS
- A10 - SITE PLAN

*Proposed Coach House for
Andrew Zaczigna
Nobleton, Ontario*

PROJECT TITLE	50 ELLIS AVE COACH HOUSE BUILDING
DRAWING TITLE	FRONT ELEVATION
SCALE	3/16" = 1'-0"
DATE REVISION	DECEMBER 2024
A1	



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



DECK SECTION DETAIL (IF APPLICABLE)
 SCALE: N.T.S.

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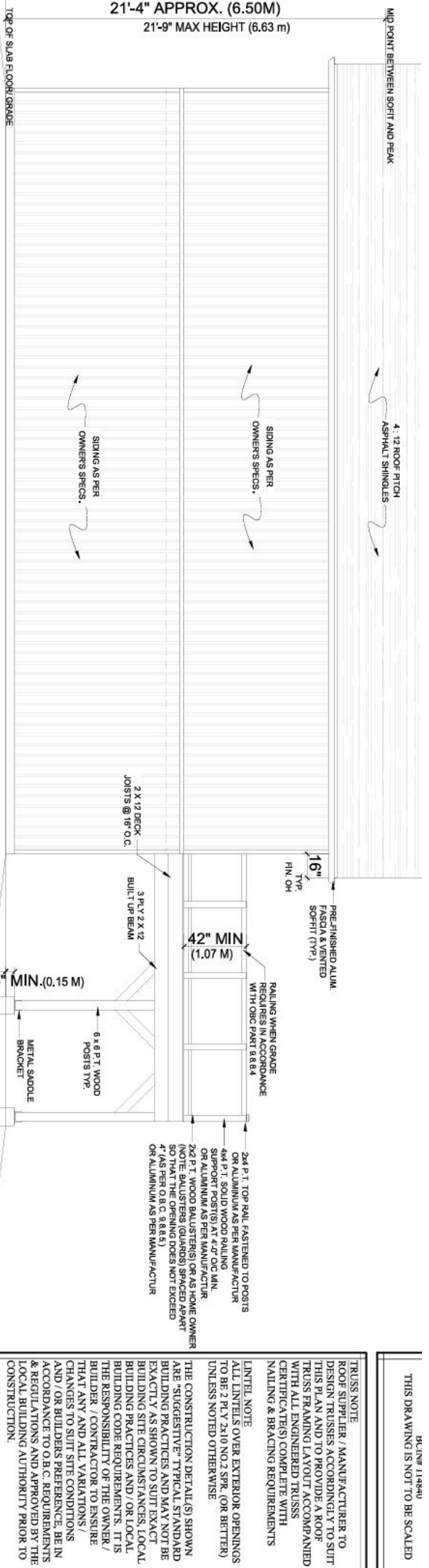
PROJECT TITLE
 50 ELLIS AVE COACH HOUSE BUILDING

DRAWING TITLE
 LEFT ELEVATION & DETAILS

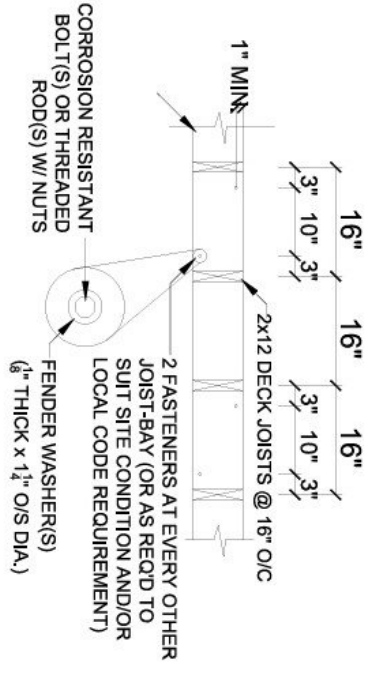
SCALE
 AS NOTED

DATE REVISED
 DECEMBER 2024

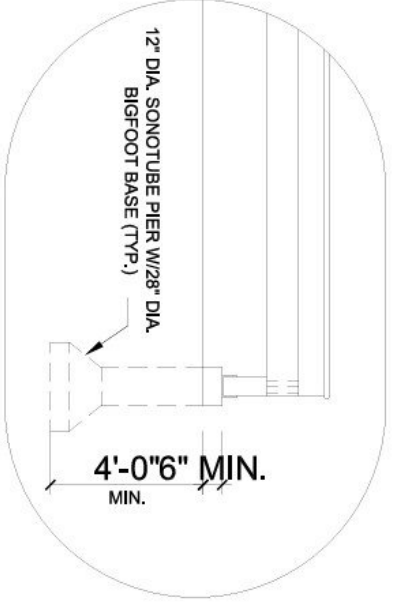
A2



REAR ELEVATION
SCALE :3/16" = 1'-0"



PIER DETAIL
SCALE: N.T.S.



PROJECT TITLE 50 ELLIS AVE COACH HOUSE BUILDING	
NO.	REVISION/ISSUE
DATE	DATE
DRAWING TITLE REAR ELEVATION & DETAILS	
SCALE AS NOTED	
DATE	REVISION
DECEMBER 2024	
A3	

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PLJ# 114840

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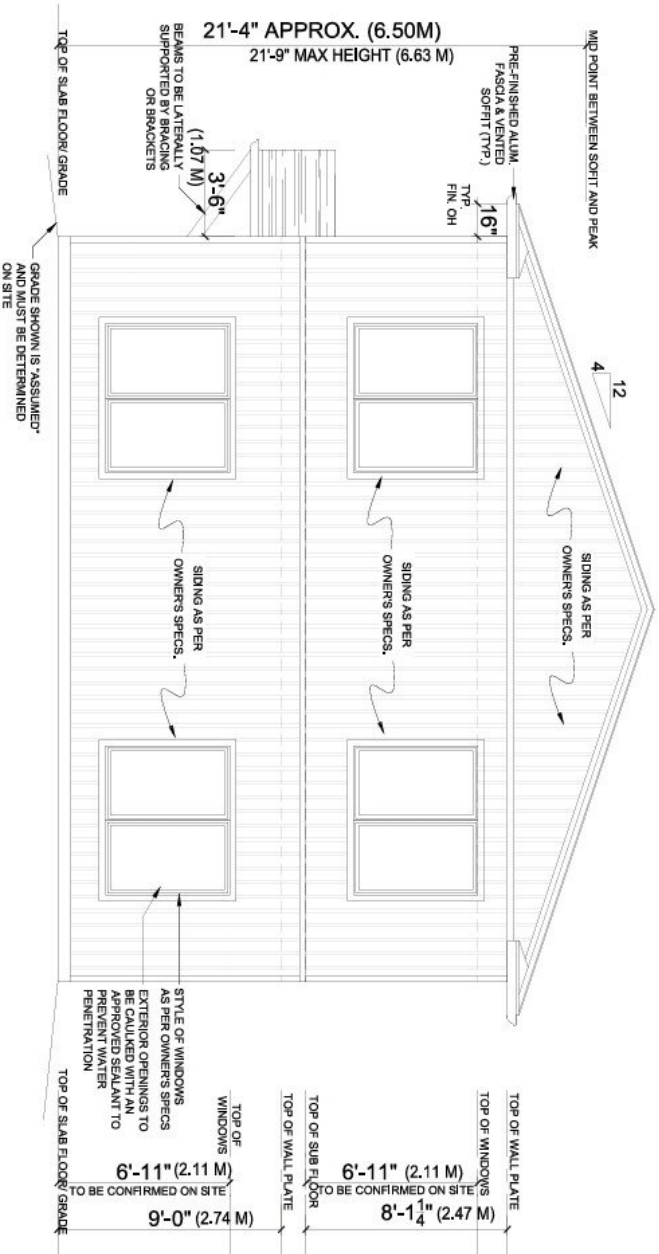
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RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

NO.	REVISION/ISSUE	DATE

PROJECT TITLE
50 ELLIS AVE COACH HOUSE BUILDING

DRAWING TITLE
RIGHT ELEVATION

SCALE
 3/16" = 1'-0"

DATE REVISED
 DECEMBER 2024

A4



King Township
2585 King Road
King City, Ontario
Canada L7B 1A1

Phone: 905.833.5321
Fax: 905.833.2300
Website: www.king.ca

Requests for additional information must be emailed to the Secretary-Treasurer at COFA@King.ca or visit the Planning Department at the Municipal Centre from Monday - Friday, 8:30 a.m.–4:30 p.m

IMPORTANT INFORMATION

IMPORTANT NOTICE TO OWNER AND/OR AGENT: It is required that the owner or the authorized agent of the owner make personal representation at the hearing. If you do not attend or are not represented at this hearing, the Committee may: defer the hearing to a date and time convenient to the Committee; may proceed in your absence to make a decision; or may consider the application to have been abandoned or withdrawn and close the file and you will not be entitled to any further notice in the proceedings.

PUBLIC RECORD: Personal information collected because of this public meeting is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete the attached Request for Decision Form and submit to cofa@king.ca. In the absence of a written request to be notified of the Committee's decision you will not receive notice of future hearings on this application.

APPEALING TO THE ONTARIO LAND TRIBUNAL (OLT): *(The Planning Act, R.S.O. 1990, as amended, Section 45)*

To appeal the decision to the Ontario Land Tribunal (OLT) send a letter to the Secretary-Treasurer for the Township of King Committee of Adjustment outlining the reasons for the appeal, along with the OLT A1 Appeal Form. You must enclose the appeal fee of \$400.00 for each application appealed, paid by certified cheque, made payable to the Minister of Finance. In addition, please note that there is an Appeal Processing Fee of \$824.00 (per application) which is payable to King Township.

Only the applicant/owner, the municipality, or certain public bodies may no later than 20 days of the making of the decision appeal to the Ontario Land Tribunal (OLT). When no appeal is lodged within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

For further information, please contact the Secretary-Treasurer, Township of King Committee of Adjustment at cofa@king.ca or 905-833-5321 from 8:30 a.m. to 4:30 p.m.

NOTICE REQUIREMENTS FOR LANDLORDS & CONDOMINIUM CORPORATIONS: In accordance with Ontario Regulation 197/96 if you own a building that contains more than 7 (seven) residential units, you must post this public notice in a location that is visible to all residents within your building. In accordance with the Condominium Act, a corporation that is served with a notice under the Planning Act shall notify all persons whose names are in the record of the corporation maintained under subsection 47 (2) and shall make a copy of the notice available for examination.

DATE OF PUBLIC NOTICE: January 02, 2025

Adriana Bozzo, Secretary-Treasurer
Committee of Adjustment
Planning Division
King Township



King Township
2585 King Road
King City, Ontario
Canada L7B 1A1

Phone: 905.833.5321
Fax: 905.833.2300
Website: www.king.ca

REQUEST FOR DECISION A-24-60

To be notified of the Committee's decision or a related Ontario Land Tribunal (OLT) hearing you must complete this form and submit to the Secretary Treasurer, Committee of Adjustment at CofA@King.ca

Please provide a copy of the Committee's Decision with respect to :

Name: _____

Address: _____

Postal Code: _____

Phone Number: _____

Email Address: _____

Date Request Submitted: _____

*Please print and ensure form is legible