



**NOTICE OF PUBLIC HEARING**  
**Minor Variance Application File No. A-24-61**  
(The *Planning Act*, 1990, as amended subsection 45(5))  
**This public meeting will be held Hybrid (In-person and virtual participation)**  
Live streamed at: <https://www.king.ca/cofameetings>

**NOTICE IS HEREBY GIVEN THAT** the following application will be heard before the Committee of Adjustment on:

**WEDNESDAY, JANUARY 15, 2025 AT 6:00 P.M.**

**PUBLIC PARTICIPATION**

We ask for written correspondence to be submitted by noon on the Friday prior to the scheduled hearing. Written submissions can be emailed to [cofa@king.ca](mailto:cofa@king.ca), please quote file number in subject line.

Anyone wishing to speak to the Committee of Adjustment virtually, must register by contacting the Secretary Treasurer at [cofa@king.ca](mailto:cofa@king.ca) no later than noon on the Friday prior to the scheduled hearing. When your request to speak is received, a confirmation message and instructions for providing a deputation virtually at the meeting will be provided.

Anyone wishing to speak to the Committee of Adjustment in-person, should register by contacting the Secretary Treasurer at [cofa@king.ca](mailto:cofa@king.ca). You may also register at the hearing in Council Chambers by completing a deputation registration form and providing it to the Secretary Treasurer.

You can watch a live stream of the hearing at [king.ca/cofameetings](http://king.ca/cofameetings) (this link will not allow you to speak during the meeting).

**SUBJECT APPLICATION:**

- Address:** 345 Patricia Drive, King City  
Lot 56, Plan M-1567
- Ward:** 1
- Applicant:** Lijun Xu
- Agent:** George Shama, Great Room Inc.
- Zoning:** R1E - Residential Single Detached "E"

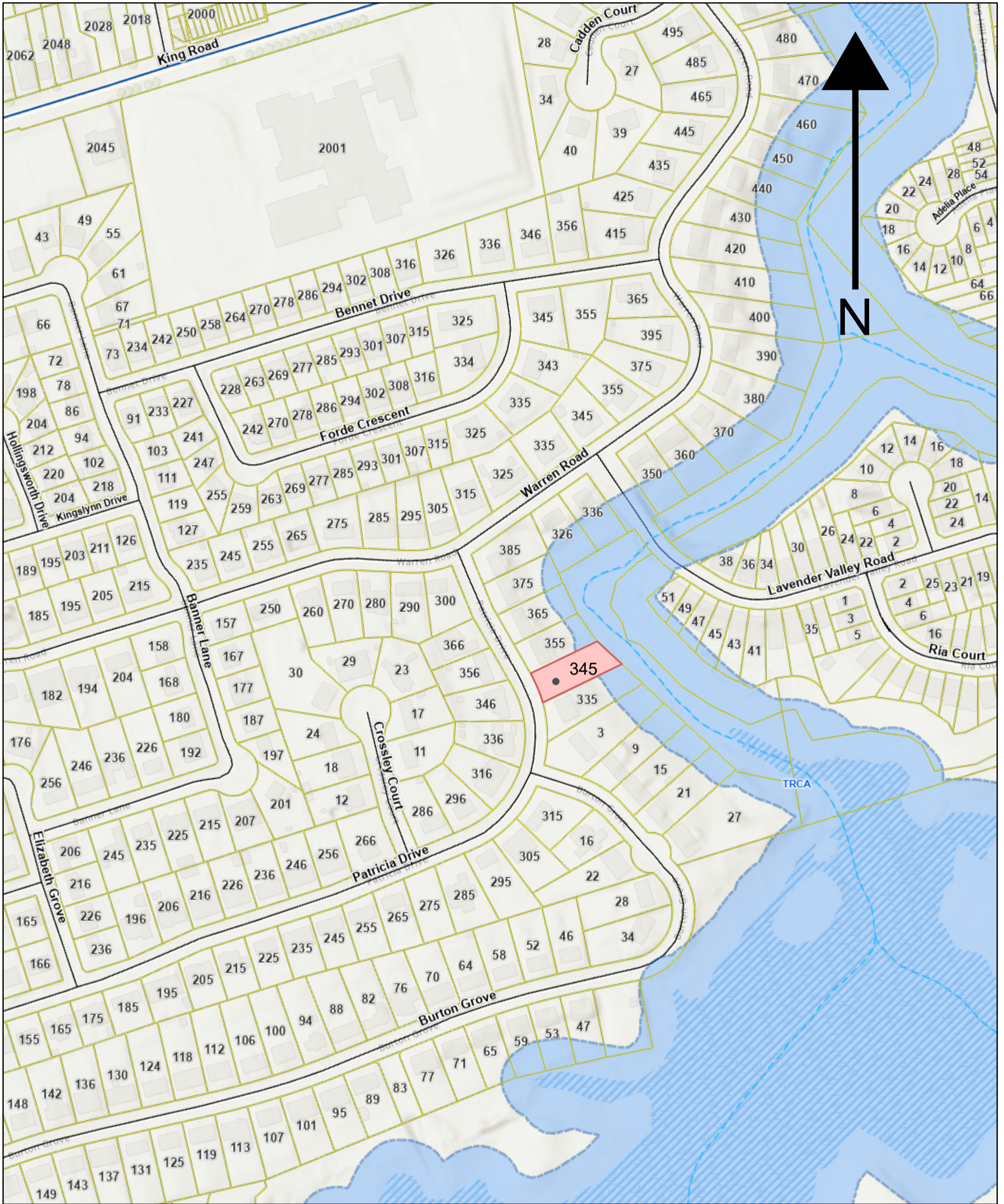
**APPLICATION REQUEST:**

The applicant is seeking relief to the maximum height requirement to facilitate a proposed single detached dwelling.

#	Zoning By-law #2017-66, as amended	Variance request:
1	Table 6.3b permits a maximum Height of 10.0 metres (measured to the mean level between eaves and ridge of a gabled, hip, gambrel roof or other type of pitched roof)	Relief from Table 6.3b to permit a maximum height of 11.71 metres on the North Side (Left) where 10.0 metres is required.
2	Table 6.3b permits a maximum Height of 10.0 metres (measured to the mean level between eaves and ridge of a gabled, hip, gambrel roof or other type of pitched roof)	Relief from Table 6.3b to permit a maximum height of 11.19 metres on the East Side (Rear) where 10.0 metres is required.
3	Table 6.3b permits a maximum Height of 10.0 metres (measured to the mean level between eaves and ridge of a gabled, hip, gambrel roof or other type of pitched roof)	Relief from Table 6.3b to permit a maximum height of 10.56 metres on the South Side (Right) where 10.0 metres is required.

**PLEASE REFER TO THE ATTACHED SKETCHES FOR THE LOCATION OF THE LAND AND PROPOSED PLANS.**

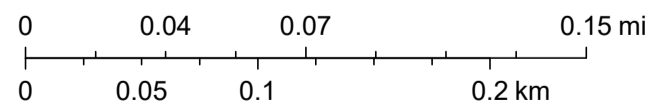
# A-24-61 - Location Map



2024-12-13, 2:21:15 p.m.

- Override 1
- TRCA Regulation Limits
- Wetlands
- Parcel Fabric

1:4,514

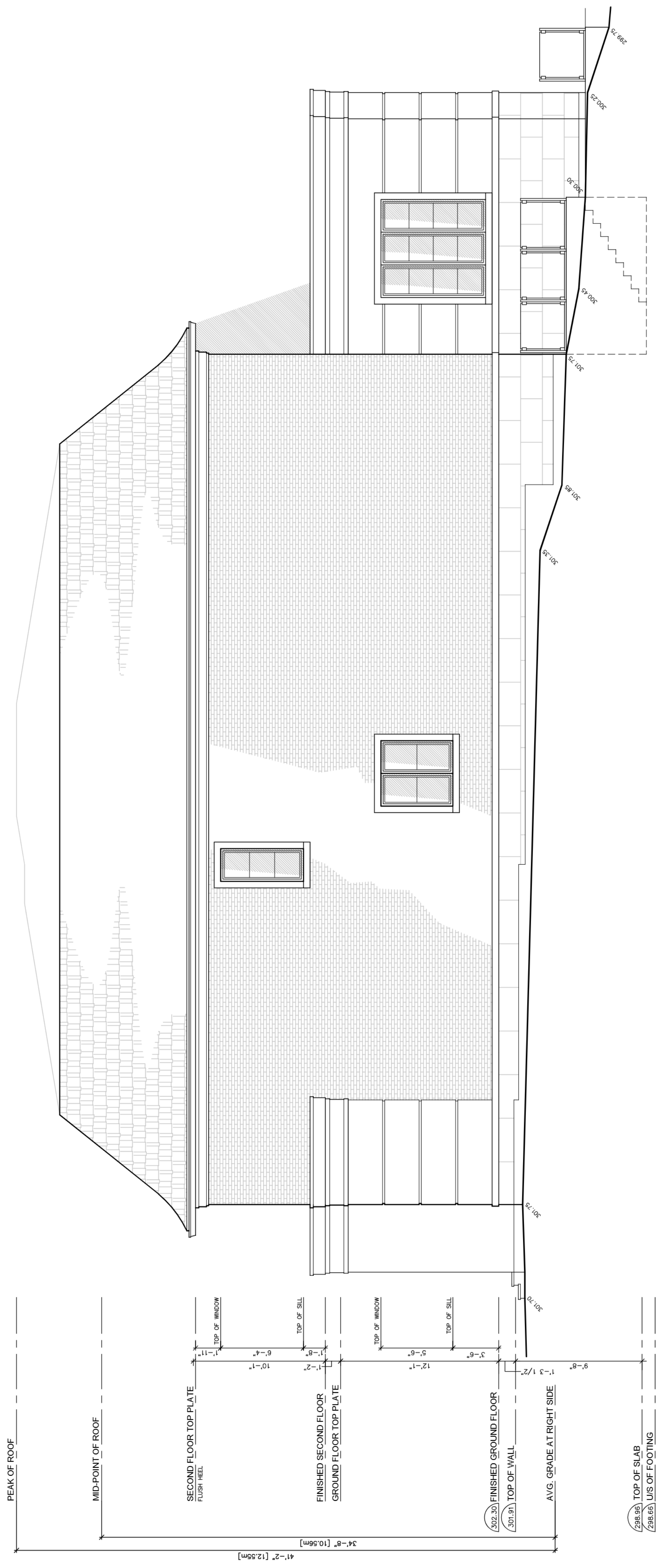


Esri Community Maps Contributors, Province of Ontario, York Region, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, NRCAN, Parks Canada, Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA,

# 345 Patricia Dr.

## Concept 2b

### RIGHT SIDE ELEVATION



ARTISTS' IMPRESSION

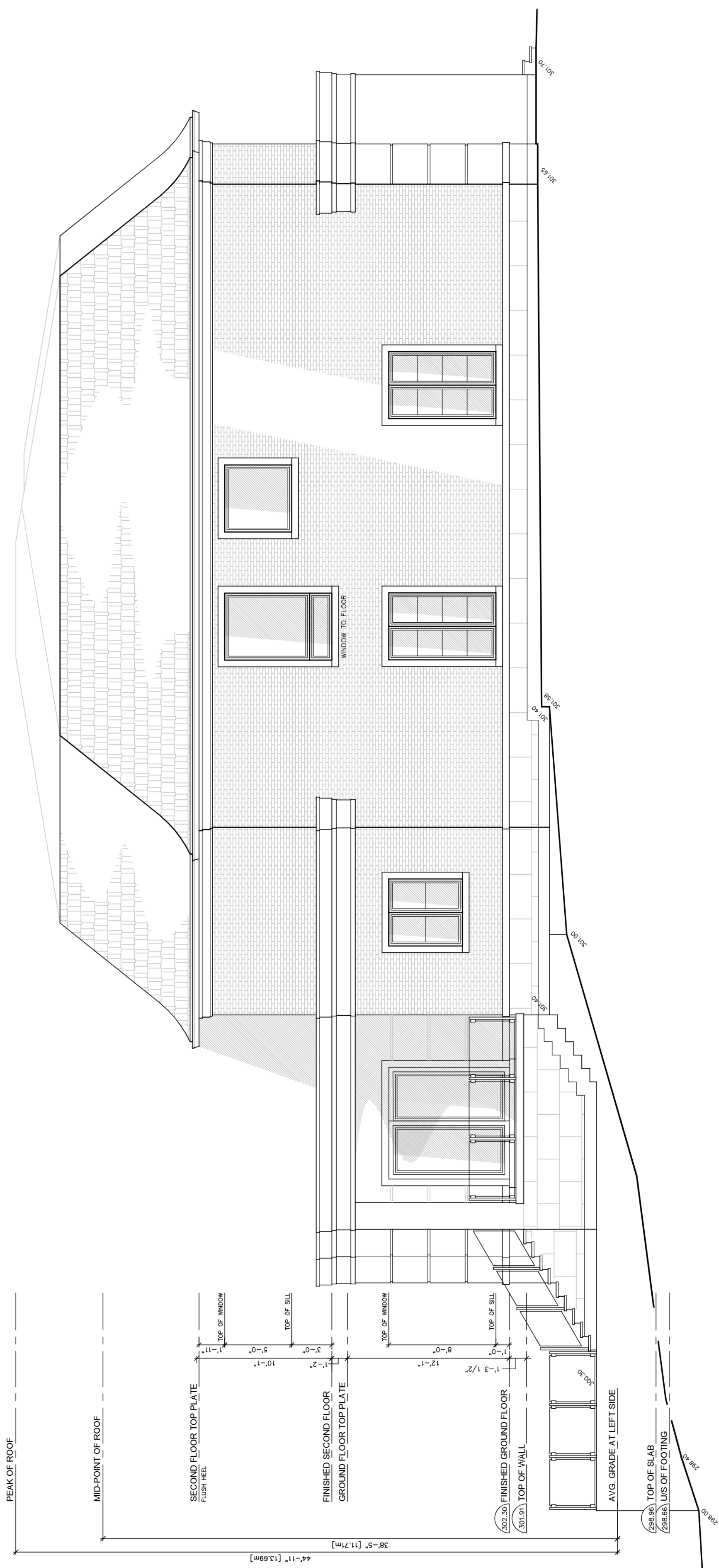
ORIGINATOR OF HOME MAY BE REPRODUCED AND PUBLISHED HEREIN TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE WAYS DUE TO GRADING VARIANCE. NOTE: ACTUAL FLOOR SPACES MAY VARY FROM THE SHOWN FLOOR AREA. ALL DIMENSIONS AND ARCHITECTURAL DETAILS ARE SUBJECT TO MAJOR MODIFICATIONS. E & C/L



# 345 Patricia Dr.

Concept 2b

## LEFT SIDE ELEVATION



ARTISTS' IMPRESSION

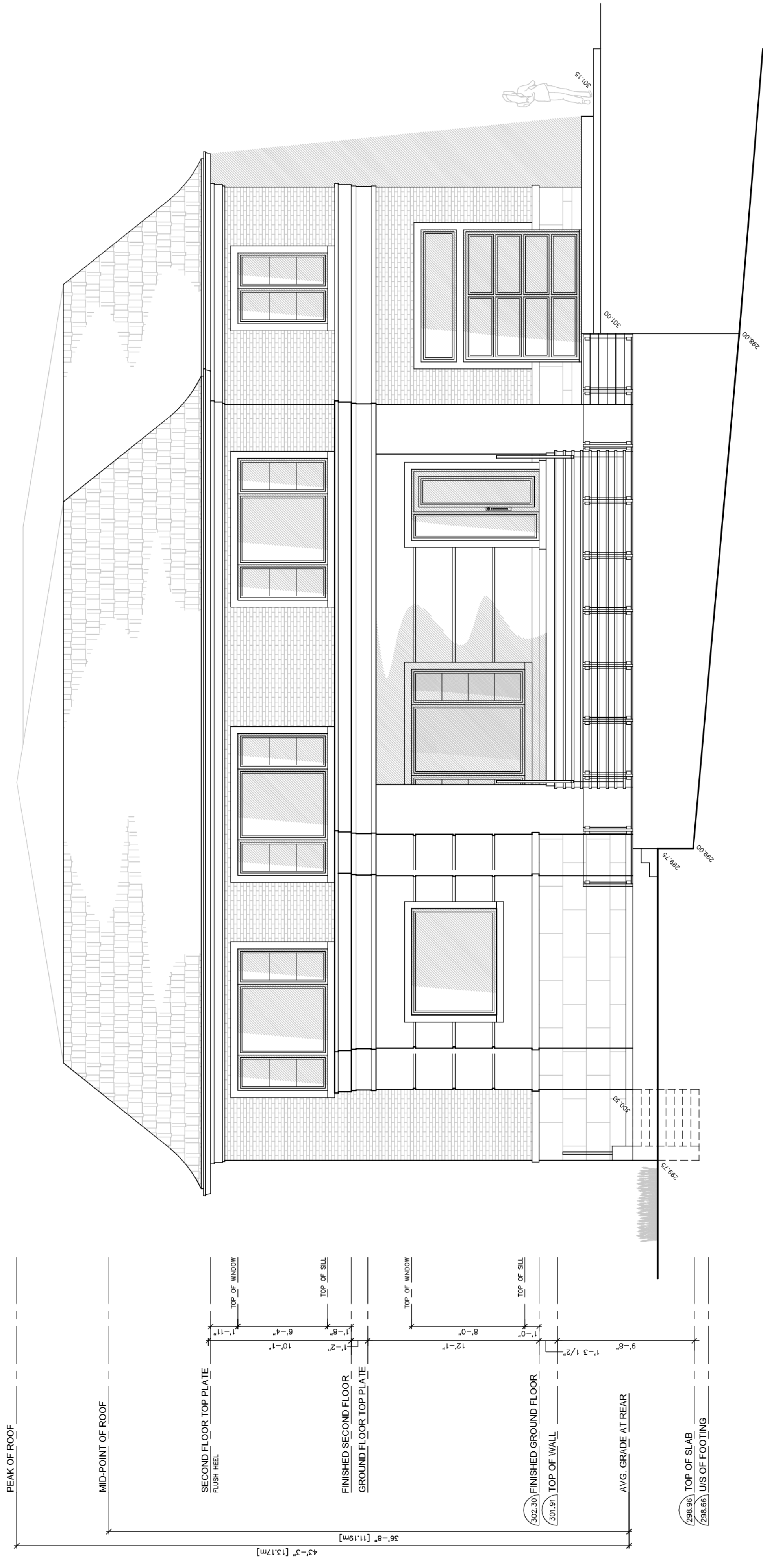
ORIENTATION OF HOME MAY BE REVERSED AND PURCHASER AGREES TO ACCEPT THE SAME. STEPS MAY VARY AT ANY EXTERIOR ENTRANCE WINGS DUE TO GRADING VARIANCE. NOTE: ACTUAL FLOOR SPACE MAY VARY FROM THE SHOWN FLOOR AREA. ALL DIMENSIONS AND ARCHITECTURAL DETAILS ARE SUBJECT TO MAJOR REVISIONS. E & O U.



# 345 Patricia Dr.

## Concept 2b

### REAR ELEVATION





King Township  
2585 King Road  
King City, Ontario  
Canada L7B 1A1

Phone: 905.833.5321  
Fax: 905.833.2300  
Website: [www.king.ca](http://www.king.ca)

*Requests for additional information must be emailed to the Secretary-Treasurer at [COFA@King.ca](mailto:COFA@King.ca) or visit the Planning Department at the Municipal Centre from Monday - Friday, 8:30 a.m.–4:30 p.m*

### **IMPORTANT INFORMATION**

**IMPORTANT NOTICE TO OWNER AND/OR AGENT:** It is required that the owner or the authorized agent of the owner make personal representation at the hearing. If you do not attend or are not represented at this hearing, the Committee may: defer the hearing to a date and time convenient to the Committee; may proceed in your absence to make a decision; or may consider the application to have been abandoned or withdrawn and close the file and you will not be entitled to any further notice in the proceedings.

**PUBLIC RECORD:** Personal information collected because of this public meeting is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete the attached Request for Decision Form and submit to [cofa@king.ca](mailto:cofa@king.ca). In the absence of a written request to be notified of the Committee's decision you will not receive notice of future hearings on this application.

### **APPEALING TO THE ONTARIO LAND TRIBUNAL (OLT):** *(The Planning Act, R.S.O. 1990, as amended, Section 45)*

To appeal the decision to the Ontario Land Tribunal (OLT) send a letter to the Secretary-Treasurer for the Township of King Committee of Adjustment outlining the reasons for the appeal, along with the OLT A1 Appeal Form. You must enclose the appeal fee of \$400.00 for each application appealed, paid by certified cheque, made payable to the Minister of Finance. In addition, please note that there is an Appeal Processing Fee of \$824.00 (per application) which is payable to King Township.

Only the applicant/owner, the municipality, or certain public bodies may no later than 20 days of the making of the decision appeal to the Ontario Land Tribunal (OLT). When no appeal is lodged within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

For further information, please contact the Secretary-Treasurer, Township of King Committee of Adjustment at [cofa@king.ca](mailto:cofa@king.ca) or 905-833-5321 from 8:30 a.m. to 4:30 p.m.

**NOTICE REQUIREMENTS FOR LANDLORDS & CONDOMINIUM CORPORATIONS:** In accordance with Ontario Regulation 197/96 if you own a building that contains more than 7 (seven) residential units, you must post this public notice in a location that is visible to all residents within your building. In accordance with the Condominium Act, a corporation that is served with a notice under the Planning Act shall notify all persons whose names are in the record of the corporation maintained under subsection 47 (2) and shall make a copy of the notice available for examination.

**DATE OF PUBLIC NOTICE:** January 02, 2025

Adriana Bozzo, Secretary-Treasurer  
Committee of Adjustment  
Planning Division  
King Township



King Township  
2585 King Road  
King City, Ontario  
Canada L7B 1A1

Phone: 905.833.5321  
Fax: 905.833.2300  
Website: [www.king.ca](http://www.king.ca)

## REQUEST FOR DECISION A-24-61

To be notified of the Committee's decision or a related Ontario Land Tribunal (OLT) hearing you must complete this form and submit to the Secretary Treasurer, Committee of Adjustment at [CofA@King.ca](mailto:CofA@King.ca)

Please provide a copy of the Committee's Decision with respect to :

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Postal Code: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

Date Request Submitted: \_\_\_\_\_

\*Please print and ensure form is legible