



NOTICE OF PUBLIC HEARING
Minor Variance Application File No. A-24-63
(The *Planning Act*, 1990, as amended subsection 45(5))
This public meeting will be held Hybrid (In-person and virtual participation)
Live streamed at: <https://www.king.ca/cofameetings>

NOTICE IS HEREBY GIVEN THAT the following application will be heard before the Committee of Adjustment on:

WEDNESDAY, JANUARY 15, 2025 AT 6:00 P.M.

PUBLIC PARTICIPATION

We ask for written correspondence to be submitted by noon on the Friday prior to the scheduled hearing. Written submissions can be emailed to cofa@king.ca, please quote file number in subject line.

Anyone wishing to speak to the Committee of Adjustment virtually, must register by contacting the Secretary Treasurer at cofa@king.ca no later than noon on the Friday prior to the scheduled hearing. When your request to speak is received, a confirmation message and instructions for providing a deputation virtually at the meeting will be provided.

Anyone wishing to speak to the Committee of Adjustment in-person, should register by contacting the Secretary Treasurer at cofa@king.ca. You may also register at the hearing in Council Chambers by completing a deputation registration form and providing it to the Secretary Treasurer.

You can watch a live stream of the hearing at king.ca/cofameetings (this link will not allow you to speak during the meeting).

SUBJECT APPLICATION:

Address: 21360 Bathurst Street, King
Part of Lot 26, Concession 2, OS;
Lots 1-5, 7-11 and Part of Lot 6, RP 336; and
Part 4 and 5, RS 65R-3101

Ward: 6

Applicant: 2188361 Ontario Inc.

Agent: Seaton Structures Ltd. (c/o Jennifer Farnes)

Zoning: 'AS' – Agricultural Specialty Crop, as per the *Zoning By-law for the Countryside*, By-law # 2022-053, as amended

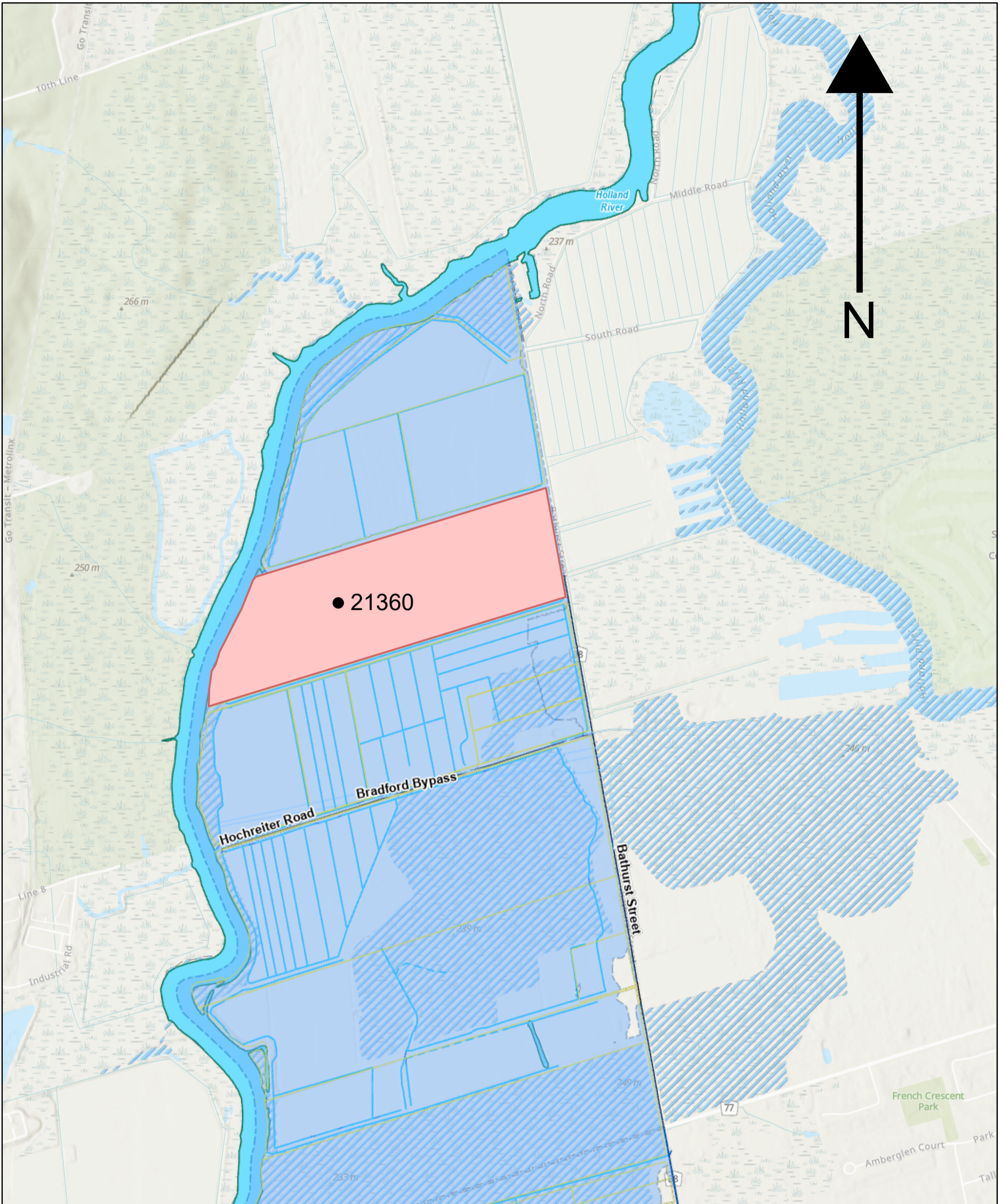
APPLICATION REQUEST:

The applicant is seeking to construct a proposed agricultural storage building that is to measure approximately 2860.5 m² in size. A minor variance application has been filed with the Township of King to address the lot coverage requirements of the Zoning By-law.

#	Zoning By-law #2022-053, as amended	Variance Request:
1	Section 7.7a) In the Agricultural (A), Agricultural Specialty Crop (AS) and Agriculture Related (AR) zones, the maximum lot coverage shall be: i) for lots with a lot area greater than 20.0 ha, the maximum lot coverage shall be 3% or 1.0 ha., whichever is less.	Relief from Section 7.7a) i) To permit a maximum lot coverage of approximately 14,865 square metres or 3.20%

PLEASE REFER TO THE ATTACHED SKETCHES FOR THE LOCATION OF THE LAND AND PROPOSED PLANS.

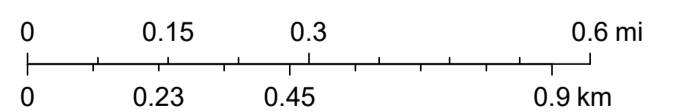
A-24-63 - Location Map



2024-12-18, 1:19:38 p.m.

- Override 1
- Wetlands
- Parcel Fabric
- LSRCA Regulation Limits

1:18,056



Esri Community Maps Contributors, Province of Ontario, York Region, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, NRCan, Parks Canada, Esri, NASA, NGA, USGS, FEMA

BENCHMARK IS THE TOP OF EXISTING FIRST FLOOR SLAB AS ILLUSTRATED ON THE DRAWING. HAVING AN ELEVATION OF 219.34m.

TOPOGRAPHIC SURVEY PROVIDED BY ADE TOPO SURVEYS AND CAD. NOVEMBER 2024. BOUNDARY REPRODUCED FROM GEOGRAPHICAL INFORMATION FROM SAUCO DRAWING. THIS LOT GRADING DRAWING IS NOT A PLAN OF SURVEY.

PROF. NUMBER OF STEPS
PROF. GRADE (SHEET FLOW)
EX. BELL BOX
PROF. DRIVEWAY
PROF. RAINWATER LEADER
PROF. SUMP PUMP OUTLET
GRADE AND DIRECTION
SWALE
HIGH POINT

NO. DATE: ISSUED FOR:
1 11/12/24 PERMIT
2
3
4
5

PROFESSIONAL ENGINEER
A. B. DE BOEKEL
Nov 13, 2024
PROVINCE OF ONTARIO

OWNER: Springwater Engineering Limited
3807 BATHURST LANE
SUITE 112
L4M 1J2
TEL: 905.223.2228

OWNER: Seaton Structures

LOCATION: 21360 Bathurst Street
Holland Landing, ON

PROJECT: New Storage Building

DRAWING: Lot Grading Plan

DRAWN BY: A.B. DRAWING NO.:
DATE: Nov 13, 2024
SCALE: As Noted
PROJECT: 2405 LG-1

ZONING INFORMATION

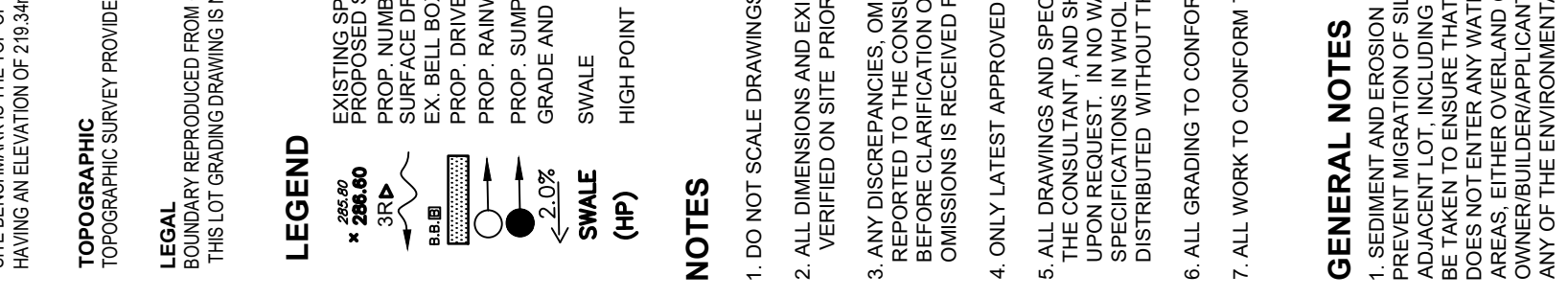
EXISTING HOUSE	AS	PERMITTED	PROVIDED
LOT AREA (ha) (Max)	16.0	46.5	46.5
LOT FRONTAGE (m) (Min)	57.0	403.10	403.10
YARD			
FRONT	15.0	16.23	16.23
INTERIOR	4.5	134.08	134.08
EXTERIOR	4.5	9.16	9.16
SIDE			
REAR	12.0	894.19	894.19
LOT COVERAGE (%) (Max)	3.0%	3.19%	3.19%
ALL STRUCTURES			
BUILDING HEIGHT (m) (Max)	11.0	9.22	9.22

STRUCTURE DESIGN

FINISHED FLOOR (FF)	219.35
TOP OF FOUNDATION WALL (TFW) SLAB ON GRADE	219.55
UNDERSIDE OF FOOTING (USF)	217.93

- GRAVEL DRIVING SURFACE NOTES**
- GRAVEL DRIVING SURFACE TO BE CONSTRUCTED USING A SUITABLE GRAVEL FILL COMPACTED TO 100% SPMD. SEE ENGINEERED FILL NOTES.
 - FINISHED SURFACE TO BE CONSTRUCTED USING:
 - 300mm OF GRANULAR B OR RECYCLED CONCRETE
 - 150mm OF GRANULAR A ON RECYCLED PORTLAND CEMENT.

- TOPSOIL AND SOD NOTES**
- ALL DISTURBED AREAS NOT CONSTRUCTED AS DRIVING SURFACE SHALL BE FINISHED USING MINIMUM 200mm OF TOPSOIL AND NURSERY SOD OR SEED.



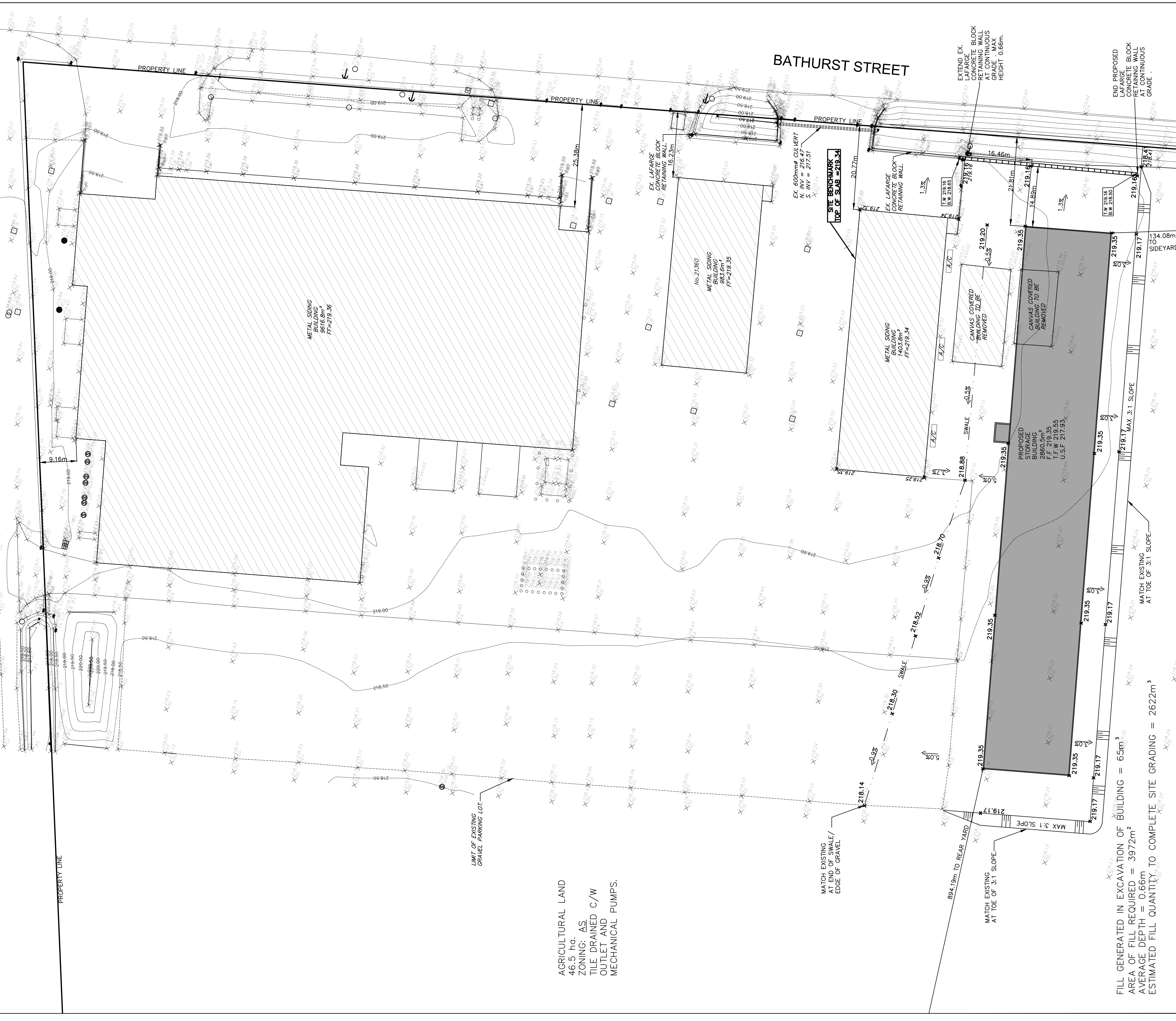
- ESTIMATED EARTHWORKS QUANTITIES**
- FILL GENERATED IN EXCAVATION OF BUILDING = 65m³
 AREA OF FILL REQUIRED = 3972m²
 AVERAGE DEPTH = 0.66m
 ESTIMATED FILL QUANTITY TO COMPLETE SITE GRADING = 2622m³

GENERAL NOTES

- CONTROL MEASURES SHALL BE EMPLOYED TO PREVENT MIGRATION OF SILT AND SEDIMENT FROM THE SUBJECT LOT TO ANY ADJACENT LOT, INCLUDING MUNICIPAL RIGHT-OF-WAY. SPECIAL CARE SHALL BE TAKEN TO PREVENT EROSION OF THE SUBJECT LOT TO ADJACENT PROPERTIES. SPECIAL CARE SHALL BE TAKEN TO PREVENT EROSION OF THE SUBJECT LOT TO ADJACENT PROPERTIES. SPECIAL CARE SHALL BE TAKEN TO PREVENT EROSION OF THE SUBJECT LOT TO ADJACENT PROPERTIES. SPECIAL CARE SHALL BE TAKEN TO PREVENT EROSION OF THE SUBJECT LOT TO ADJACENT PROPERTIES.
- MINIMUM COVER ON WATERMANS, WATER SERVICES AND HYDRANT BRANCHES UNDER DITCHES SHALL BE 1.7m.
- ALL DOWNSPOUTS, SUMP PUMP AND OTHER DRAINAGE DISCHARGE POINTS SHALL DISCHARGE ON TO A SPLASH PAD OR APPROVED EQUIVALENT, AND THE POINT OF DISCHARGE SHALL BE DIRECTED AWAY FROM ADJACENT PROPERTIES.
- THE OWNER/REGISTERED APPLICANT IS RESPONSIBLE FOR OBTAINING UTILITY AND SERVICING LOCATES PRIOR TO ANY WORKS.
- THE INCREASE OF FLOOR SLABS AND ASSOCIATED DRAINS SHALL BE ENTIRELY LOCATED A MINIMUM OF 1.4 METERS ABOVE THE SEASONAL HIGH GROUNDWATER LEVELS. THE HIGH GROUNDWATER ELEVATION SHALL BE DETERMINED BY THE REGISTERED APPLICANT. THE REGISTERED APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING UTILITY AND SERVICING LOCATES PRIOR TO ANY WORKS.
- ALL DISTURBED AREAS ARE TO BE SOODED OVER A MINIMUM OF 150mm OF TOPSOIL OR APPROVED ALTERNATIVE GROUND COVER. SOD IS TO BE USED IN AREAS OF HYDROSEEDING WITHIN SWALES OR ANY OTHER FOCUS POINTS OF DISTURBANCE. THE SEEDING SHALL BE HYDRO-SEED RATHER THAN SOODED CANNOT BE ACCEPTED UNTIL THE SEEDING HAS ESTABLISHED SUFFICIENT GROWTH FOR GROUND COVER TO THE SATISFACTION OF THE MUNICIPALITY.
- A COPY OF THE "ACCEPTED FOR CONSTRUCTION" LOT GRADING AND DRAINAGE PLAN IS TO BE ON SITE FOR REFERENCE AT ALL TIMES DURING CONSTRUCTION.
- ALL WORK WITHIN THE TOWNSHIP RIGHT-OF-WAY MUST BE RESTORED TO EXISTING CONDITION OR BETTER.
- INTERIM GRADING MEASURES MAY BE REQUIRED DURING BUILDING CONSTRUCTION TO PREVENT EROSION OF THE SUBJECT LOT TO ADJACENT PROPERTIES. ROUGH GRADING OF THE PROPERTY SHALL BE COMPLETED SUCH THAT DRAINAGE IS CONTAINED ON SITE OR CONTROLLED TO A POSITIVE OUTLET.

ENGINEERED FILL NOTES

- ENGINEERED FILL MUST BE PLACED ON COMPETENT SUBGRADE. ANY LOOSE, SOFT OR UNSUITABLE MATERIAL SHALL BE REMOVED AND MUST BE SUBEXCAVATED.
- ENGINEERED FILL TO CONSIST OF A GRANULAR MATERIAL AS SPECIFIED WITHIN CROSS SECTION 101.
- ENGINEERED FILL MUST EXTEND A MINIMUM OF 0.45 METRES BEYOND THE EDGE OF EXCAVATION TO A MINIMUM OF 1.0 METRE BEYOND THE EDGE HORIZONTAL TO 1 VERTICAL SLOPE TO COMPLETE SUBGRADE.
- ENGINEERED FILL TO BE PLACED AT A MOISTURE CONTENT WITHIN 2% OF OPTIMUM IN 200MM LOOSE LIFTS, AND COMPACTED TO A MINIMUM OF 100% SPMD UNDER FULL TIME GEOTECHNICAL SUPERVISION.



AGRICULTURAL LAND
46.5 ha.
ZONING: AS
TILE DRAINED C/W
OUTLET AND
MECHANICAL PUMPS.

FILL GENERATED IN EXCAVATION OF BUILDING = 65m³
 AREA OF FILL REQUIRED = 3972m²
 AVERAGE DEPTH = 0.66m
 ESTIMATED FILL QUANTITY TO COMPLETE SITE GRADING = 2622m³



King Township
2585 King Road
King City, Ontario
Canada L7B 1A1

Phone: 905.833.5321
Fax: 905.833.2300
Website: www.king.ca

Requests for additional information must be emailed to the Secretary-Treasurer at COFA@King.ca or visit the Planning Department at the Municipal Centre from Monday - Friday, 8:30 a.m.–4:30 p.m

IMPORTANT INFORMATION

IMPORTANT NOTICE TO OWNER AND/OR AGENT: It is required that the owner or the authorized agent of the owner make personal representation at the hearing. If you do not attend or are not represented at this hearing, the Committee may: defer the hearing to a date and time convenient to the Committee; may proceed in your absence to make a decision; or may consider the application to have been abandoned or withdrawn and close the file and you will not be entitled to any further notice in the proceedings.

PUBLIC RECORD: Personal information collected because of this public meeting is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete the attached Request for Decision Form and submit to cofa@king.ca. In the absence of a written request to be notified of the Committee's decision you will not receive notice of future hearings on this application.

APPEALING TO THE ONTARIO LAND TRIBUNAL (OLT): *(The Planning Act, R.S.O. 1990, as amended, Section 45)*

To appeal the decision to the Ontario Land Tribunal (OLT) send a letter to the Secretary-Treasurer for the Township of King Committee of Adjustment outlining the reasons for the appeal, along with the OLT A1 Appeal Form. You must enclose the appeal fee of \$400.00 for each application appealed, paid by certified cheque, made payable to the Minister of Finance. In addition, please note that there is an Appeal Processing Fee of \$824.00 (per application) which is payable to King Township.

Only the applicant/owner, the municipality, or certain public bodies may no later than 20 days of the making of the decision appeal to the Ontario Land Tribunal (OLT). When no appeal is lodged within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

For further information, please contact the Secretary-Treasurer, Township of King Committee of Adjustment at cofa@king.ca or 905-833-5321 from 8:30 a.m. to 4:30 p.m.

NOTICE REQUIREMENTS FOR LANDLORDS & CONDOMINIUM CORPORATIONS: In accordance with Ontario Regulation 197/96 if you own a building that contains more than 7 (seven) residential units, you must post this public notice in a location that is visible to all residents within your building. In accordance with the Condominium Act, a corporation that is served with a notice under the Planning Act shall notify all persons whose names are in the record of the corporation maintained under subsection 47 (2) and shall make a copy of the notice available for examination.

DATE OF PUBLIC NOTICE: January 02, 2025

Adriana Bozzo, Secretary-Treasurer
Committee of Adjustment
Planning Division
King Township



King Township
2585 King Road
King City, Ontario
Canada L7B 1A1

Phone: 905.833.5321
Fax: 905.833.2300
Website: www.king.ca

REQUEST FOR DECISION A-24-63

To be notified of the Committee's decision or a related Ontario Land Tribunal (OLT) hearing you must complete this form and submit to the Secretary Treasurer, Committee of Adjustment at CofA@King.ca

Please provide a copy of the Committee's Decision with respect to :

Name: _____

Address: _____

Postal Code: _____

Phone Number: _____

Email Address: _____

Date Request Submitted: _____

*Please print and ensure form is legible